

Service/Operations

This use consists of ranch management, security, maintenance, and operations.

Public Trails

Two public trails are proposed to be licensed to an appropriate public agency: a new public trail to link the Peñon Peak area with existing trails in Garland Ranch Regional Park and a segment of the proposed Carmel Valley trail, which would cross the northern edge of the site parallel to the Carmel River. Refer to Chapter 16, "Public Services and Utilities", for additional discussion of these trails. Specific alignments have not been identified and would require additional environmental review before they are constructed.

Tertiary Treatment Plant

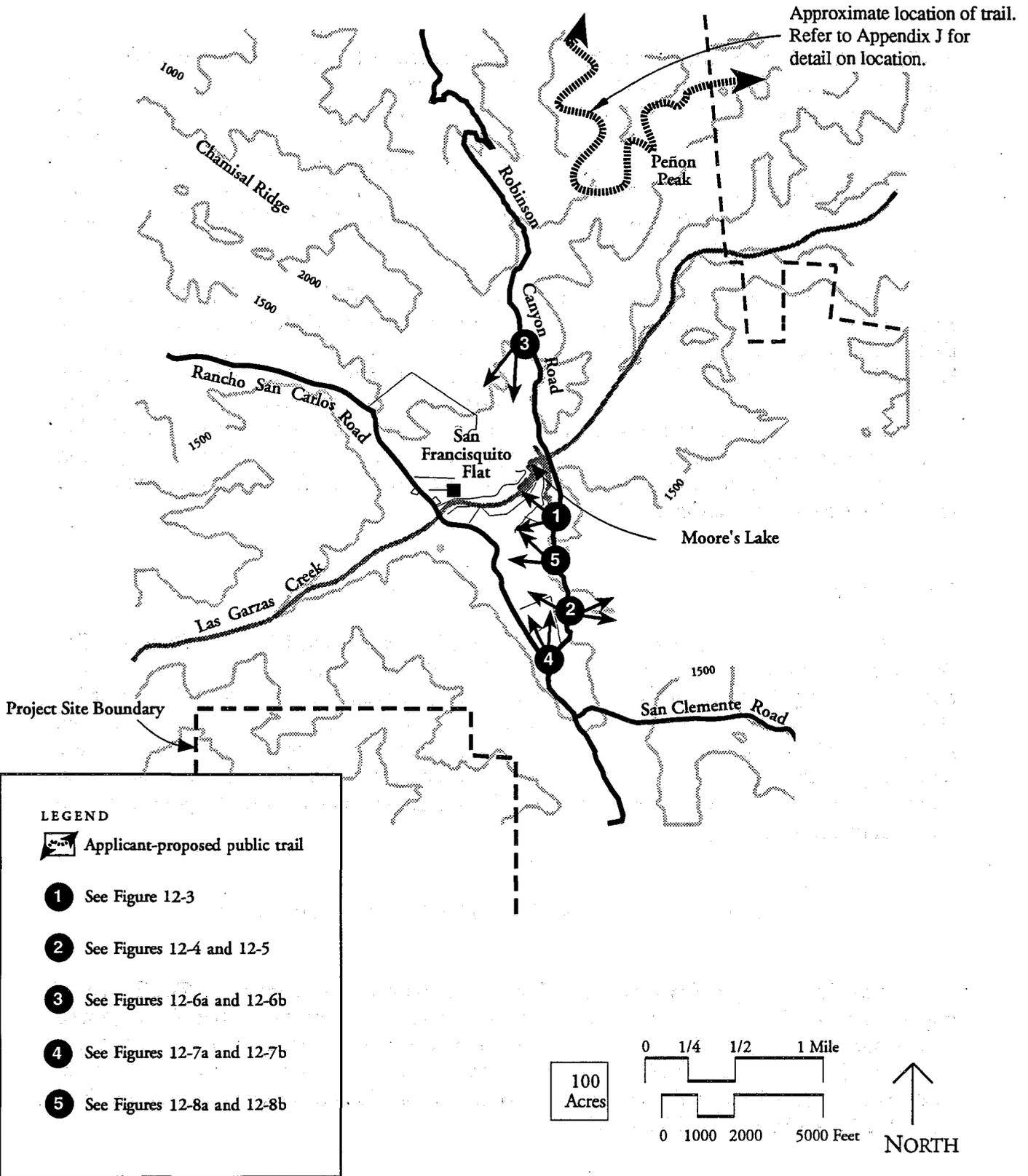
A tertiary treatment facility (*see Appendix G*) is included in the comprehensive development plan. The wastewater treatment facility (on Lot 261) will generate up to 70,000 gallons per day (gpd) of irrigation-quality water.

Site Improvements

Implementation of any required onsite and offsite infrastructure improvements and ancillary facilities will also be incorporated into overall project phasing. Proposed improvements include the following:

- Water supply. Domestic and fire flow water supply will be provided by a community water system coordinated and managed on a ranchwide basis by a CSA or other public entity through a system of deep wells, and storage and distribution facilities constructed by the developer. Irrigation water supply for the golf trail will be provided from reclaimed domestic wastewater, recycled irrigation water, and rainfall.
- Wastewater system. Most of the lots would be served by individual septic tanks and leach field system. *The ranch center, conservancy, lodge, hacienda, sports center, equestrian center, ranch operations center, employee recreation center, the golf trail clubhouse, The ranch center and some of the lots in the vicinity 78 market-rate, 44 inclusionary, and 12 noninclusionary employee homes* would be served by a tertiary treatment facility. (*See Table 4 of the Golf Trail Water Supply Plan*) Treated effluent from the treatment plan would be used for onsite irrigation and landscape and golf trail irrigation. The applicant has prepared a wastewater disposal plan for the project.

Resource/Plan	Objectives/Policies	Assessment of Consistency
1994 Regional Transportation Plan (continued)	<i>Policy 3.3.1 states:</i> Well-defined pedestrian and bicycle facilities, including standard signing and alternative routing, should be encouraged to enhance safety.	Consistent. The project proposes a series of conservancy trails linking the ranch center with central portions of the preserve. In addition, the applicant proposes to provide a segment of the Carmel River Trail, which is proposed by Monterey County Public Works/TAMC Bicycle Committee to connect Highway 1 with Carmel Valley. See consistency discussion regarding bicycle facilities above under Policy 1.1.2.
RECREATION		
Greater Monterey Peninsula Area Plan	<i>Policy 51.1.4 states:</i> Riding and hiking trails should be acquired and developed with the intent of creating a coordinated, areawide trails system. All motorized vehicles shall be prohibited from using these trails.	Consistent. Although the proposed project does not aide in establishing the trail systems regarded by the County as having the highest priority, the proposed project is consistent with these policies because two public trails will be created and licensed to an appropriate public agency. A loop trail will link Peñon Peak with Garland Park and in the Carmel Valley a segment of the proposed Carmel Valley Trail will cross the proposed Santa Lucia Preserve parallel to the Carmel River.
	In supporting a coordinated areawide trails system, the County should give the highest priority to establishing the following trails systems:	
	<ul style="list-style-type: none"> a. establish a permanent riding and hiking trail from Roach Canyon to Jacks Peak Park; b. establish an easterly ridgeline trail from Jacks Peak Park to Laureles Grade; c. establish a major trail link which generally traverses in a southeasterly direction from Carmel Valley and forms a trail connection with the Los Padres National Forest trail system; and d. establish a connection trail from the Jacks Peak Park/Laureles Grade ridgeline trail to the entrance of Laguna Seca Recreation Area to be used as a point of departure to Toro Regional Park along Highway 68. 	
	<i>Policy 51.2.4.1 states:</i> Each development proposal shall be evaluated to determine the extent to which such development may help further the County's park and recreation facility goals, objectives and policies.	
INCLUSIONARY HOUSING		
Greater Monterey Peninsula Area Plan	<i>Policy 62.1.14 states:</i> All development proposals shall make provision for low or moderate income housing in accordance with the Inclusionary Housing Ordinance.	Consistent. The proposed project is consistent with this policy because the applicant is proposing to comply with the Inclusionary Housing Ordinance by including 53 affordable housing units in the project. Compliance with the ordinance shall be subject to review and approval by the Monterey County Planning and Building Inspection Department before approval and recordation of the final map.



Source: Adapted from Rancho San Carlos Partnership 1994d.

Figure 12-2
Viewpoints of Photographed Locations and Simulations

The project site is bordered by the Carmel Valley on the north and northeast, by undeveloped land on the east and west, and by recreational private development to the south and southeast. The western and southern portions of the site are situated in the Santa Lucia Range. Within the site are valleys surrounded by forested slopes; areas of steep exposed rock with numerous caves; and areas of oak woodland, redwoods, and annual grassland. Prominent ridgelines, such as Sniveley's Ridge, are located near the site (Figure 12-1).

San Francisquito Flat is in the south-central portion of the project site and consists of areas of riparian vegetation and annual grassland with scattered oaks on nearby slopes. Some structures, including the hacienda, a barn and equestrian facilities, and employee houses, are scattered through the valley. Figure 12-3 shows a typical view of the hacienda and its surroundings in San Francisquito Flat.

Land uses bordering the site consist of ranching and grazing, public and private recreation and open space, and residential developments. Public and private recreation and open space uses surround the project site to the east and south, with urban lands located north of the site in the Carmel Valley (Figure 12-1). Portions of the site are visible mostly in middleground and background views from the San Clemente residential area section of the project site.

Surface water resources vary from perennial ponds, springs, and seeps to seasonal streams and ponds. Las Garzas Creek, which runs west into Moore's Lake, divides the site (Figure 12-1). The property encompasses most of the drainage basins of Hitchcock Canyon, Las Garzas Creek, Potrero Canyon, Robinson Canyon, and San Clemente Creek (all tributaries of the Carmel River) and San Jose Creek, which flows into Carmel Bay north of Point Lobos.

The primary private unpaved ranch roads within the project site are Chamisal Pass, Pronghorn Run, and Vasquez Trail. Vasquez Trail is a Garland Ranch Regional Park trail that is proposed to be extended into the project site. A public trail that runs along Sniveley's Ridge in Garland Ranch Regional Park east of the site has some views of portions of the site, including San Francisquito Flat. This trail is not heavily used. Most of the site is not visible to the general public; however, some high ridges on the site are visible from portions of Carmel Valley Road and Laureles Grade Road.

Views from Robinson Canyon Road

The most extensive views of the site are primarily from Robinson Canyon Road. The San Francisquito Flat area is bounded by Robinson Canyon Road on the east and Rancho San Carlos Road on the west. Views overlooking the site from the northern portion of Robinson Canyon Road are of slopes of forested rolling hills and ridgelines descending to grasslands, and corridors of riparian vegetation in the valley containing San Francisquito Flat. For this portion of the road, virtually all views of facilities lie in the middleground and foreground zones. People traveling south toward Moore's Lake have intermittent views of the hacienda. Views from this part of the road are of the hacienda, the equestrian center, including a metal barn, and forested hills rising in the background.

Bell will work with the applicant to design a plan for the distribution line (Balesteri pers. comm.). The increased demand for telephone services is a less-than-significant impact because the proposed project demand will not exceed the capacity of existing facilities and planned improvements.

Mitigation Measure: No mitigation measures are required.

Cable Television

Impact: Increased Demand for Cable Television

The proposed project will result in an increased demand for cable television services. Cable television can be extended to the proposed project area to accommodate the increased demand. The distribution lines would be located in the utility easements (Walton pers. comm.). This impact is considered less than significant because the project demand will not exceed the capacity for planned improvements.

Mitigation Measure: No mitigation measures are required.

Public Trails

Impact: Need for Recreational Trails

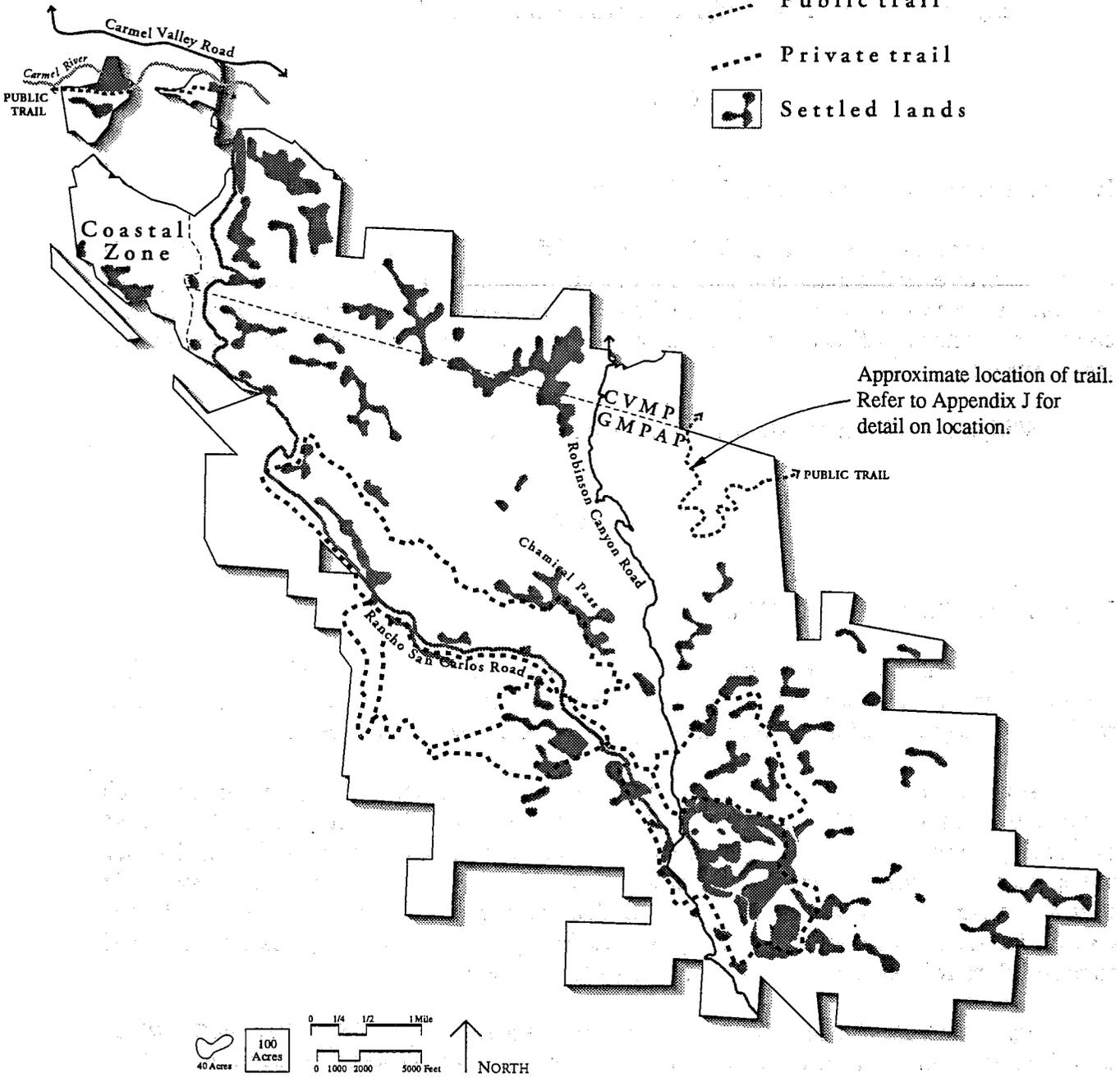
The proposed project may result in the increased demand for recreational trails at the Santa Lucia Preserve. The proposed project includes the development of **several private trails and one two public trail, and five trail segments connecting with Garland Ranch public trails.** trails.

A conceptual system of Conservancy trails is laid out in a series of loops linking the ranch center at San Francisquito Flat with central portions of the Santa Lucia Preserve (Figure 16-1). Most of the trails follow existing trails and ranch roads. These trails will be improved and maintained for use by hikers and equestrians, both for residents and guests of the Santa Lucia Preserve and for public interpretive programs and organized hikes. The Conservancy will assume all responsibility for the construction and maintenance of the trail system (excluding the two proposed public trails), as well as satisfy all patrol and liability requirements on Conservancy trails.

Six public trails were proposed by the Monterey Peninsula Regional Park District (MPRPD) to be included in the proposed project. These trails connect Las Garzas Canyon to Vasquez Knob and provide a link from the Carmel Valley to the Los Padres National Forest (LPNF). However, the proposed project includes only a portion of the trail that will connect Las Garzas Canyon to Vasquez Knob. The proposed loop trail will link Peñon Peak with Garland Ranch Regional Park.

LEGEND

- PRIMARY ROAD
- Rancho San Carlos Road
- SECONDARY ROADS
- Robinson Canyon Road
- Public trail
- Private trail
- Settled lands



Approximate location of trail.
Refer to Appendix J for
detail on location.

Source: Rancho San Carlos Partnership 1994a.



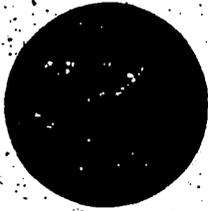
Jones & Stokes Associates, Inc.

Figure 16-1
Public and Private Trails

Additionally, a second public trail is proposed that will allow a segment of the proposed Carmel Valley trail to cross the Santa Lucia Preserve parallel to the Carmel River (Figure 16-1) Although the proposed project will not provide a trail to connect the Carmel Valley with the LPNF, the MPRPD has acquired land in Hitchcock Canyon, which will allow this trail to be developed (Tate pers. comm.). The proposed trails will be licensed to the appropriate public agency **who will assume all responsibility for their construction and maintenance** as well as satisfying all patrol and liability requirements. **Specific alignments of these public trails have not been identified and would require additional environmental review before they are constructed.**

The development of recreational trails resulting from the proposed project is a considered a beneficial impact because residents and guests will be able to use trails on the preserve and the public will be able to use public trails and Santa Lucia Preserve trails when events are scheduled.

Mitigation Measure: No mitigation measures are required *at this time*. *Mitigation measures may be required after specific alignments are proposed and evaluated.*



monterey peninsula regional park district

POST OFFICE BOX 635 • CARMEL VALLEY, CALIFORNIA • 93824-0035

BOARD OF DIRECTORS

Sean Flavin
Robert Griffin
Patricia Hutchins
Zed Leavy
Dina Stanbury

DISTRICT MANAGER

Gary Tate

September 16, 1994

Ms. Wanda A. Hickman, Associate Planner
Monterey County Planning and Building Department
P. O. Box 1208
Salinas, CA 93902

Re: Santa Lucia Preserve - EIR Scope of Work

Dear Wanda:

As you know, the Monterey Peninsula Regional Park District owns and operates a 4,500 acre public park/preserve in Carmel Valley adjacent to the proposed project. We request that the scope of work for the proposed EIR consider the following items:

1. Public Trails

I have been working closely with Jeff Froke, Santa Lucia Preserve Manager, on exploring the opportunity for loop trails originating at the Park, entering the Preserve, and returning to the Park. The attached map shows six proposed public trail alignments that we request be considered in the EIR.

I understand the Preserve is also proposing a comprehensive system of "Preserve" trails. The District requests that the EIR include a map and discuss this class of trails, as well as elaborate on who would be allowed to use them.

2. Hydrological Impact

The Park District is very concerned about potential direct and indirect impacts on off-site water resources in the Las Garzas watershed. This issue is very technical and beyond my level of expertise. However, we have reviewed, fully support and echo the comments and concerns expressed by the Monterey Peninsula Water Management District in their letters for June 15, 1994 and September 6, 1994. We request some assurance that there will be no negative impact to the surface and ground water resources in the Las Garzas watershed. If there are potential impacts that they be fully discussed in the EIR and appropriate mitigation measures recommended.

Ms. Wanda A. Hickman
September 16, 1994
Page 2

3. Visual Impacts

We request that the siting of residential lots (houses) in close proximity to the Park boundary be carefully reviewed by the EIR consultant. The Santa Lucia Preserve, with over 20,000 acres, can hopefully locate residential units in such a manner as to not impact adjacent public parkland. The concept of buffers, setback standards and alternative locations should be addressed in the EIR.

Thank you for the opportunity to comment on the EIR scope of work. Please call if you need clarification of any of the items mentioned above.

Sincerely,

Gary A. Tate
District Manager

GAT:rb

cc: Board of Directors
James Cofer, MPWMD
Owen Stewart, Monterey County Water Resources Agency
Jeff Froke, Santa Lucia Preserve Manager

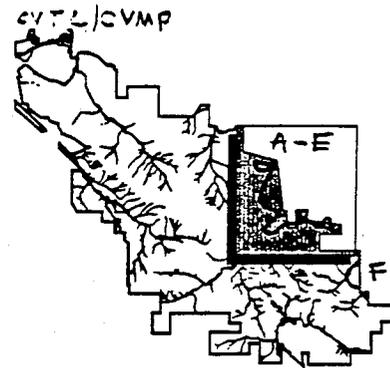
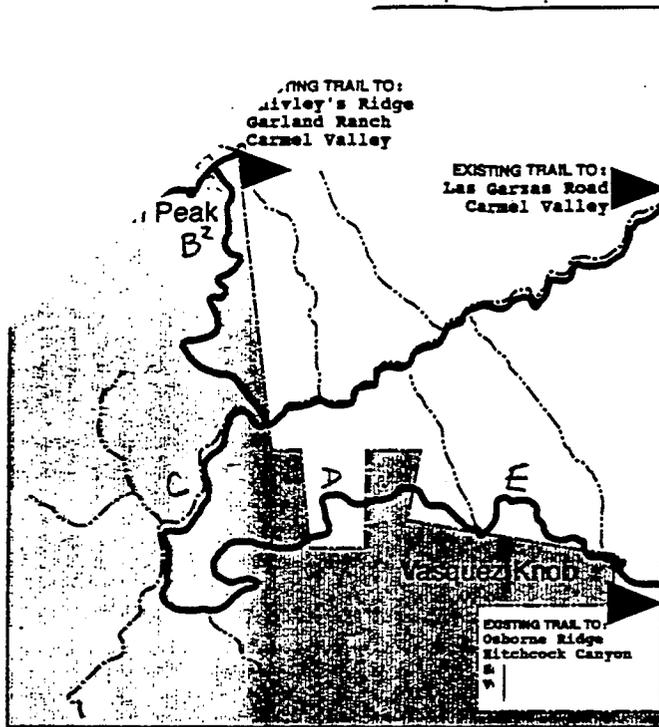
Enc.

A-88



Proposed Public Trails:

Peñon Peak / Vasquez Knob



SANTA LUCIA PRESERVE

THE SANTA LUCIA PRESERVE

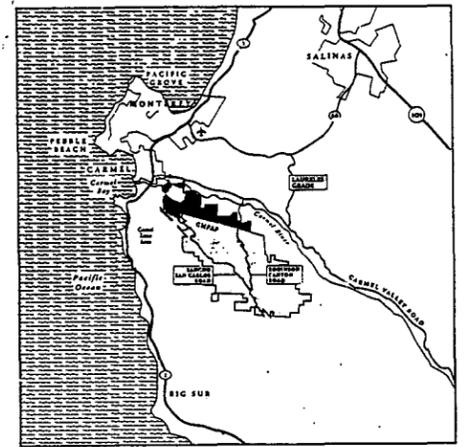
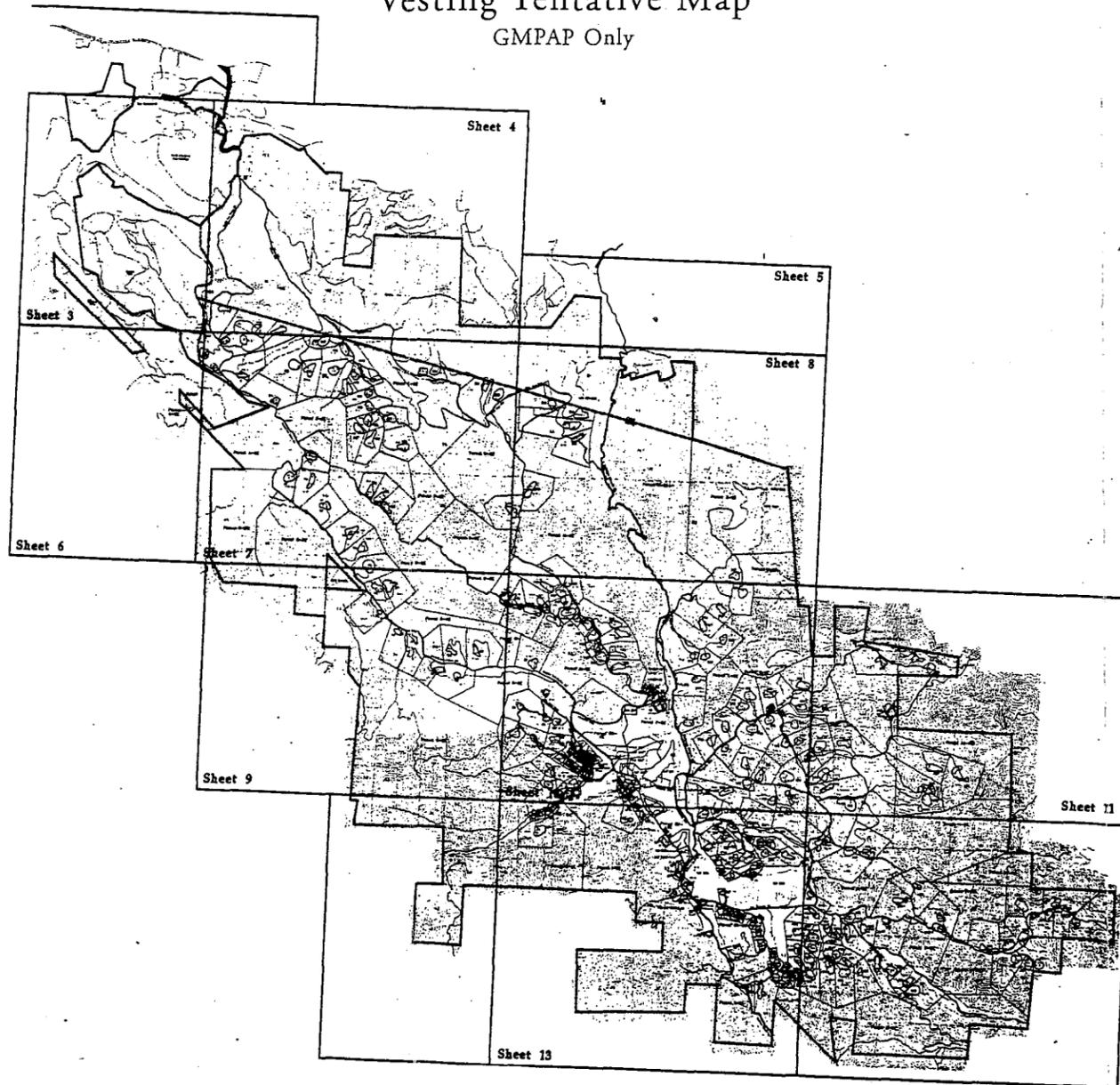
Monterey County, California



Vesting Tentative Map GMPAP Only

Vesting Tentative Map
GMPAP ONLY
THE SANTA LUCIA PRESERVE
Monterey County, California

ROBERT LAMB HART • Planners and Architects
242 California Street, San Francisco, CA 94111
BESTOR ENGINEERS, INC. • Civil Engineers
9701 Larkspur Lane, Monterey, CA 93940



VICINITY MAP

OWNER and SUBDIVIDER
Rancho San Carlos Partnership
P.O. Box 222707
Carmel, CA 93922

MAP PREPARED BY
PLANNERS
Robert Lamb Hart
242 California Street
San Francisco, CA 94111
(415) 986-4260

ENGINEERS
Bestor Engineers, Inc.
9701 Blue Larkspur Lane
Monterey, CA 93940
(408) 373-2941

CONSULTANTS
ENVIRONMENTAL/PLANNING
Denise Duffy and Associates
546-A Hartnell
Monterey, CA 93940
BioSystems Analysis, Inc.
303 Potrero, Suite 23-203
Santa Cruz, CA 95060

WATER RESOURCES
Luhdorff & Scalmanini
500 First Street
Woodland, CA 95695
Camp, Dresser & McKee
100 Pringle Avenue, Suite 114
Walnut Creek, CA 94596

LEGAL
Finegan and Cling
60 West Alisal Street, Suite 1
P.O. Box 2058
Salinas, CA 93902

Todd Engineers
2914 Domingo Avenue
Berkeley, CA 94705
Geoconsultants, Inc.
1450 Koll Circle, Suite 114
San Jose, CA 95112

WETLANDS
Wetlands Research Associates
2169 East Francisco, Suite G
San Rafael, CA 94903

Balance Hydrologics
1760 Solano Ave., Suite 209
Berkeley, CA 94707

AGRICULTURE
Sage Associates
1283 Coast Village Circle, Suite 5
Montecito, CA 93108

TRAFFIC
Rick Dowling and Associates
180 Grand Avenue, Suite 995
Oakland, CA 95612

GEOTECHNICAL
Cleary Consultants, Inc.
900 North San Antonio Road
Los Altos, CA 94022

FIRE PROTECTION
Roy Perkins
P.O. Box 4536
Carmel, CA 93921

ARCHAEOLOGICAL
Archaeological Consulting, Inc.
160 South Davis Road
Salinas, CA 93908

FORESTRY
Ralph Osterling Consultants
1650 Borel Place, #204
San Mateo, CA 94402

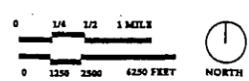
SUBDIVIDER'S STATEMENT

- Existing Zoning and Proposed Uses of the Land**
Existing zoning is RC40-S. Existing zoning and proposed land uses are described in detail in the accompanying Combined Development Permit application.
- Measures Proposed Regarding Erosion Control**
Erosion control to be in accordance with requirements of Monterey County Erosion Control Ordinance No. 2206. See the Drainage/Erosion Control Report, the Resource Management Plan and the Mitigation Monitoring Plan submitted as part of this application.
- Proposed Source of Water Supply and Name of Water System, Method of Sewage Disposal and the Name of Sewage Utility System, if sewered**
Water
Domestic and fire flow water shall be supplied by the Santa Lucia Preserve County Service Area (to be formed).
Sewer
The majority of residential lots shall be sewered by individual septic tanks and leach field systems. The Lodge, Hacienda, Ranch Center, Sporting Center, Equestrian Center, Ranch Operations Center, Employee Recreation Center, and Golf Club shall be sewer to a treatment plant operated by the Santa Lucia Preserve County Service Area. Approximately 78 single family home sites, 44 luxury dwellings and 11 non-luxury homes will also be sewer to the treatment plant. Treated effluent will be used for irrigating the Golf Trail, landscape, and pasture. For additional information refer to the Wastewater Disposal Plan submitted as part of this application.
- Indicate type of Tree Planting or Removal Proposed**
Refer to the Forest Management Plan submitted as part of this application for details of proposed tree removal and planting areas.
- Proposed Public Areas to be Dedicated and Common Area or Scenic Easements Proposed. If Common Areas are Proposed Method of Maintenance shall be stated**
There are no common areas. Open space parcels shall be owned in fee by the Conservancy. There are no public areas proposed for dedication except for one public trail. Conservation easements on private parcels shall be held and maintained by The Conservancy. Refer to the Comprehensive Development Plan submitted as part of this application.
- Proposed Height of Structures**
The maximum height of any proposed structures shall not exceed that allowed by applicable Monterey County zoning. Special zoning height limits are proposed for certain residential lots (see combined development permit application).
- Proposed type of Development of Lots or Unit and Whether they are for sale as Lots or fully developed units**
All non-employee single family lots shall be sold as 1-2. The Employee Housing Units (39 units on 15 lots) shall be sold or leased as fully developed units. This is a phased subdivision as shown on the Vesting Tentative Map. Multiple final maps are intended. Phases may be commenced out of order, however, all infrastructure facilities will be constructed as required.

SHEET INDEX

x	Title Sheet	8	Vesting Tentative Map
1	Phasing Plan	9	Vesting Tentative Map
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7	Vesting Tentative Map		

SHEET LOCATION INDEX



ASSESSOR'S PARCEL NUMBERS

157-121-005	239-011-004	239-011-016	417-031-009
157-121-014	239-011-005	239-011-017	417-031-010
157-121-015	239-011-006		417-031-013
	239-011-007	417-011-006	
157-131-001	239-011-008	417-011-010	417-041-001
157-131-003	239-011-009	417-011-011	417-041-002
157-141-005	239-011-010	417-011-012	417-041-003
157-141-006	239-011-011		417-041-018
	239-011-012	417-021-008	
23-011-021	239-011-013	417-021-014	417-051-001
239-011-002	239-011-014		
239-011-003	239-011-015	417-031-008	

NOTES

- Proposed Easements Widths**
Driveways, emergency egress, water tank access roads and utility easements will vary in width depending upon type of use.
- Solar Access**
The development proposal has no building lots that will have their solar access affected by existing structures or require tree removal to gain acceptable solar access.
- Foundation Setbacks**
Within building envelopes a 50 foot setback is shown on either side of a foundation, where its precise location is known. Within some building envelopes where the precise location of the fault is uncertain, an additional 50 foot setback is shown. This additional 50 foot setback may be found suitable for the construction of habitable structures based upon a recommendation contained in a report prepared by a California Certified Engineering Geologist that is based upon subsequent geological investigations which adequately demonstrate the precise location of the fault.
50' Setback on either side of faultline
Additional 50' setback
- Slope Setback**
Within some building envelopes a 50 foot setback is shown extending from the toe of an adjacent steep slope. Habitable structures should not be built within this setback unless a protective slope wall is constructed to minimize any potential damage from debris flow in the event of an earthquake.
- Accuracy of Drawings**
Lot lines, building envelope boundaries and physical features shown on the VTM are approximate and may be subject to revisions in connection with more detailed resource studies and precise engineering for final subdivision mapping.

ROBERT LAMB HART
Planner, Architects, and Landscape Architects
BESTOR ENGINEERS, INC.
Civil Engineers

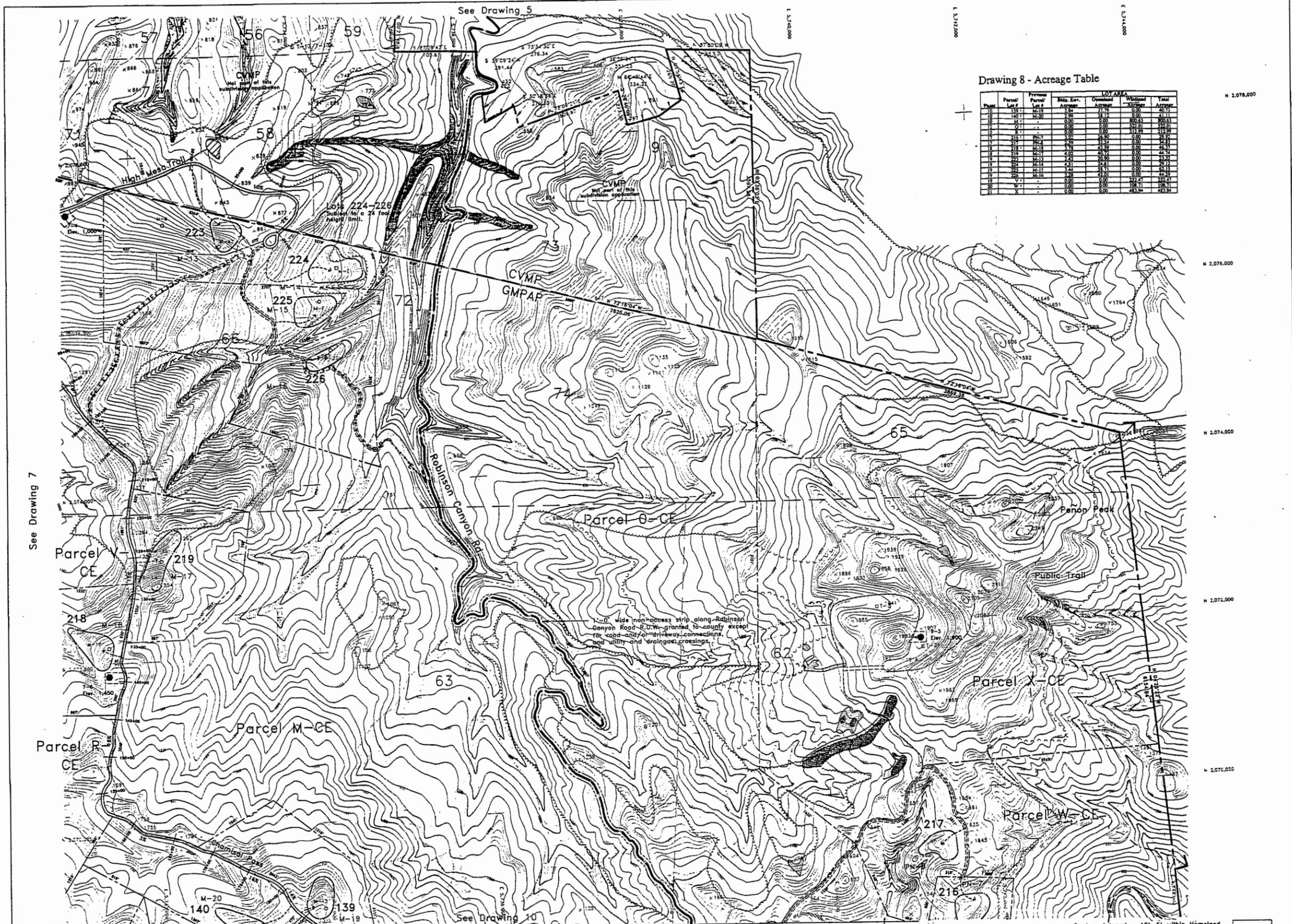
THE SANTA LUCIA PRESERVE
Monterey County, California



DATE:
January 21, 1994
REVISIONS:
November 4, 1994
August 14, 1993

DRAWING TITLE:
Cover Sheet
Vesting Tentative Map

DRAWING NO:
X
SHEET X OF 14

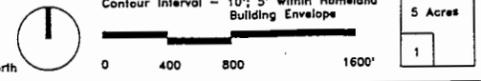


Drawing 8 - Acreage Table

Page	Parcel/ Lot #	Former Parcel/ Lot #	Blk. Env. Acreage	LOT AREA		Total Acreage
				Overlaid Acreage	Welland Acreage	
10	181	M-18	3.8	3.79	0.00	3.79
10	140	M-20	2.96	2.95	0.00	2.95
10	20	O-1	0.00	0.00	0.00	0.00
10	8	O-1	0.00	0.00	0.00	0.00
10	11	O-1	0.00	0.00	0.00	0.00
10	219	M-17	2.95	2.95	0.00	2.95
10	218	M-17	2.71	2.71	0.00	2.71
10	224	M-15	4.21	4.21	0.00	4.21
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10	289	M-15	2.29	2.29	0.00	2.29
10	290	M-15	2.29	2.29	0.00	2.29
10	291	M-15	2.29	2.29	0.00	2.29
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10	296	M-15	2.29	2.29	0.00	2.29
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10	298	M-15	2.29	2.29	0.00	2.29
10	299	M-15	2.29	2.29	0.00	2.29
10	300	M-15	2.29	2.29	0.00	2.29

LEGEND

- Property Line
- Field Stakes
- Existing Dirt Road/Utility Easement
- Private Trail/Utility Easement
- Existing Access Easement
- Fire Safety Zones
- Water Well/Equipment Easement Area
- Welland
- Lot of Record Line/Number
- Existing Public Paved Road/Utility Easement
- Proposed Driveway, Utility and/or Emer. Egress Easement
- Fault Setback (see general notes)
- Conservation Easement
- Stockpond/Lake
- Homeland Building Envelope
- Existing Private Paved Road/Utility Easement
- Proposed Road/Utility Easement
- Water/Sewer/Force Main/Utility Easement
- Riparian Corridor
- 100 Year Flood Plain
- Gated Entry



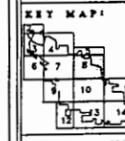
ROBERT LAMB HART
Planners, Architects, and Landscape Architects
BESTOR ENGINEERS, INC.
Civil Engineers

THE SANTA LUCIA PRESERVE
Monterey County, California

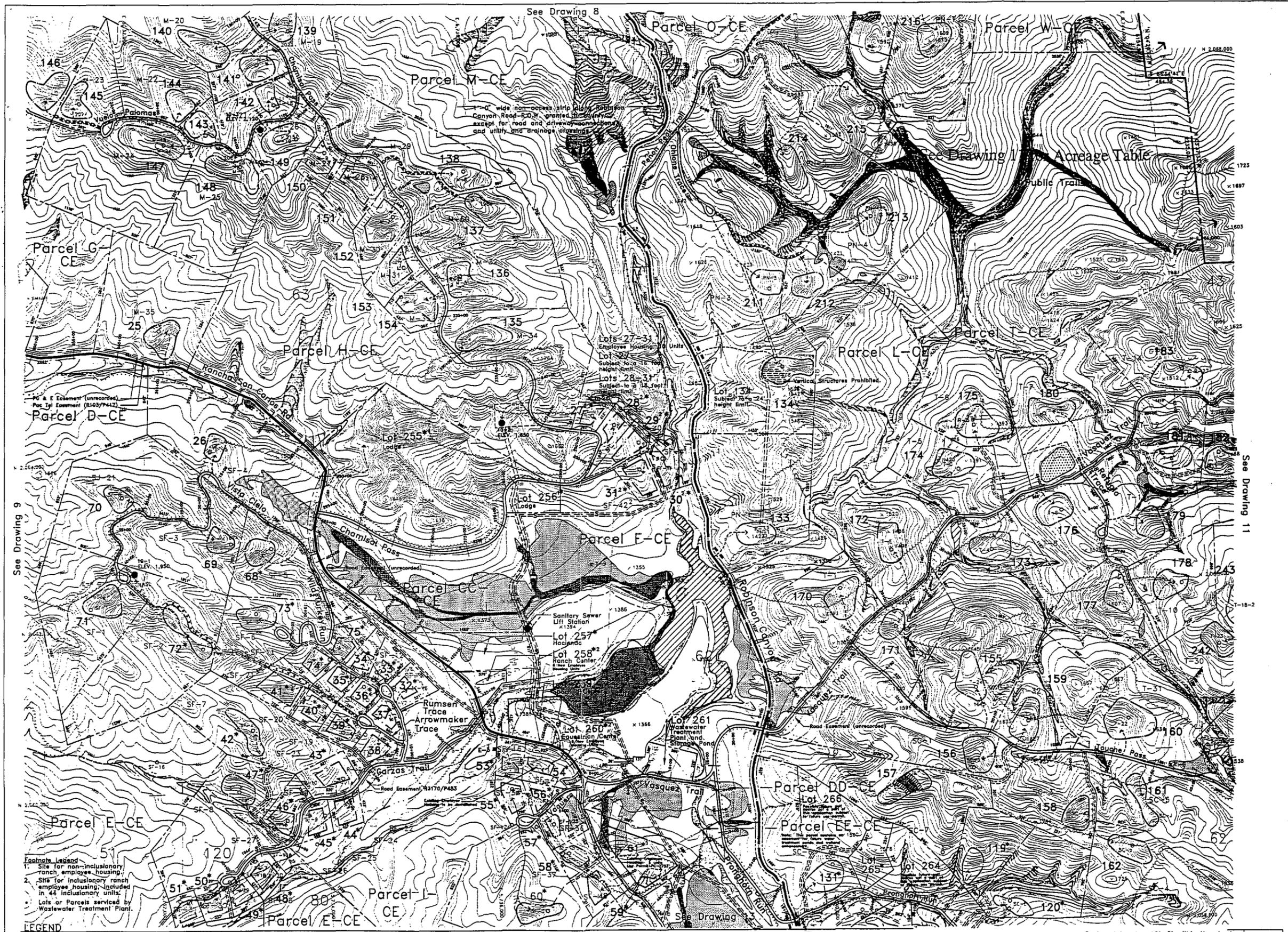


DATE:
January 21, 1994
REVISIONS:
None
August 1, 1994

DRAWING TITLE:
Vesting Tentative Map



DRAWING NO:
8
SHEET 8 OF 14



Footnote Legend

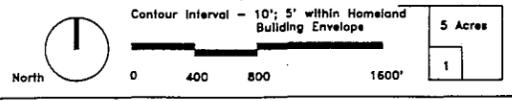
1. Site for non-inclusionary ranch employee housing.

2. Site for inclusionary ranch employee housing - included in 44 inclusionary units.

• Lots or Parcels serviced by Wastewater Treatment Plant.

LEGEND

Property Line	Field Stakes	Existing Dirt Road/Utility Easement	Private Trail/Utility Easement	Existing Access Easement	Fire Safety Zones	Water Well/Equipment Easement Area	Wetland
Lot of Record Line/Number	Existing Public Paved Road/Utility Easement	Proposed Road/Utility Easement	Emergency Egress/Utility Easement	Proposed Driveway, Utility and/or Emer. Egress Easement	Fault Setback (see general notes)	CE Conservation Easement	Stockpond/Lake
Homeland Building Envelope	Existing Private Paved Road/Utility Easement	Driveway/Utility Easement	Existing Utility Easement	W-S-F Water/Sewer/Force Main/Utility Easement	Water Tank/Equipment Easement Area	Riparian Corridor	100 Year Flood Plain
							Gated Entry



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Civil Engineers

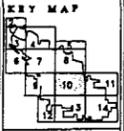
THE SANTA LUCIA PRESERVE
Monterey County, California



DATE
January 21, 1994

REVISIONS
November 4, 1992
August 14, 1998

DRAWING TITLE
Vesting Tentative Map



DRAWING NO.
10

SHEET 10 OF 14

